

5 PPG LOBBY RENOVATION

PROJECT No. 396

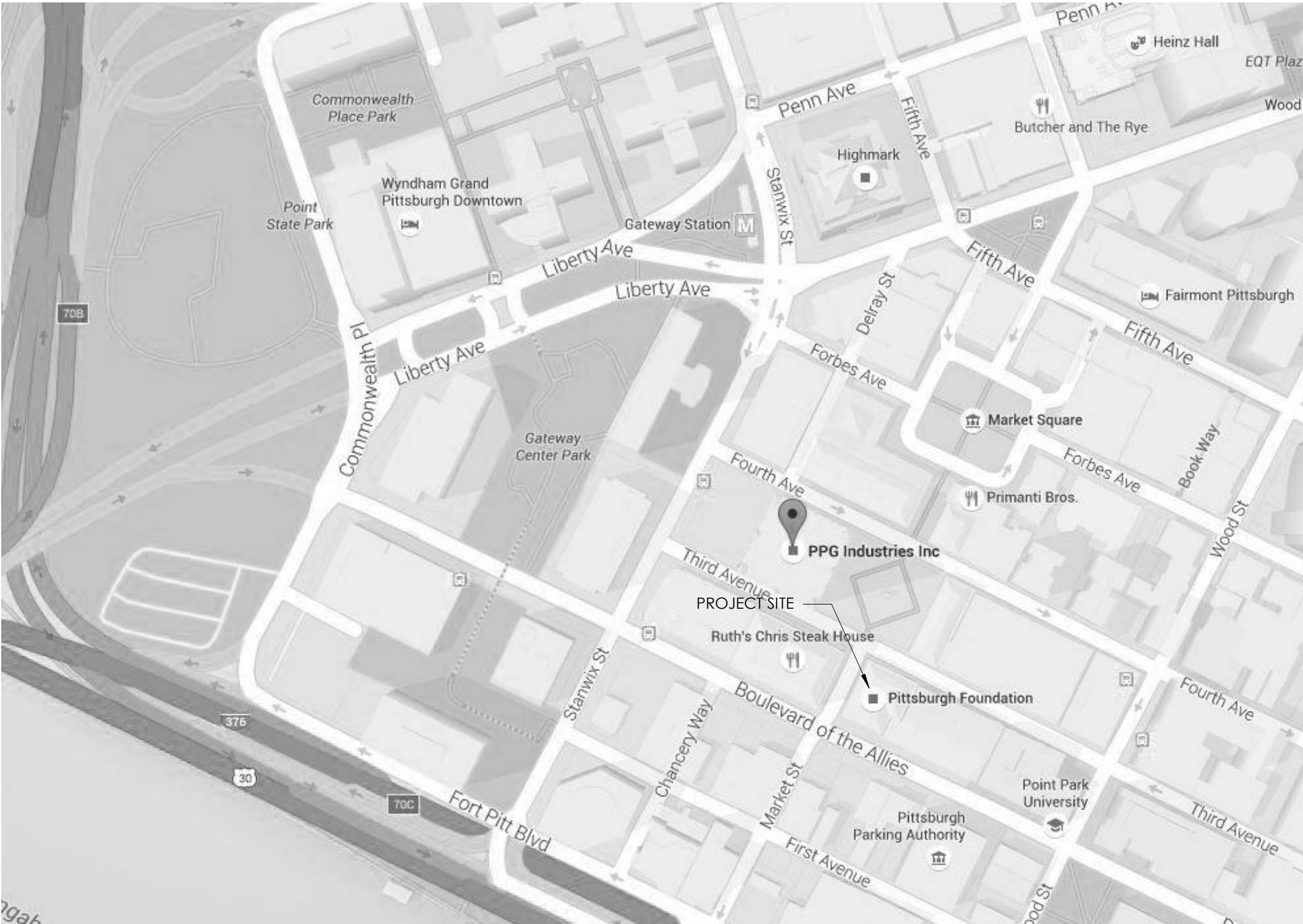
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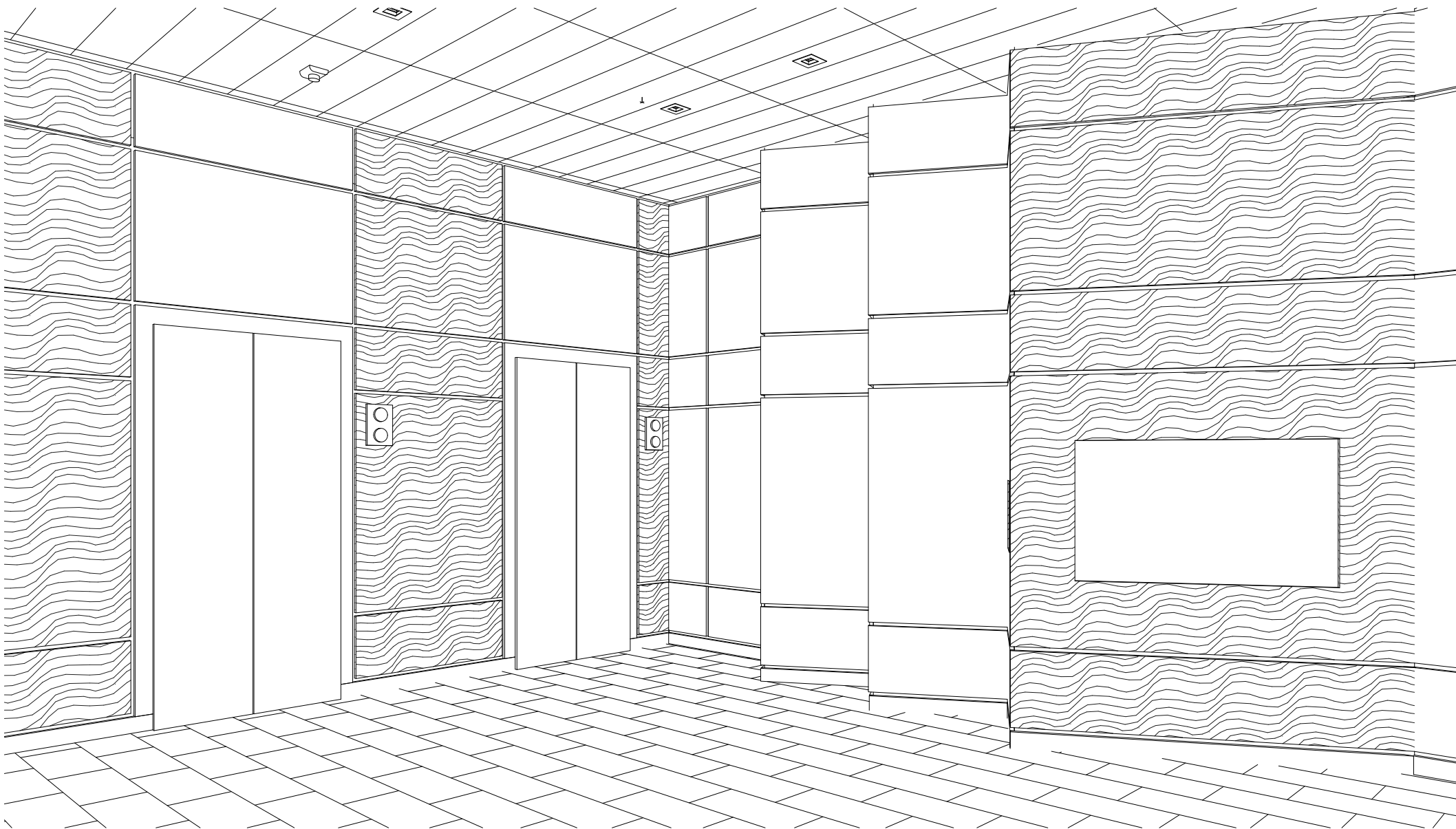
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VICINITY MAP



ISOMETRIC VIEW



INDEX OF DRAWINGS

INDEX OF DRAWINGS				
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GENERAL				
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H1	HVAC DEMOLITION, NEW PLANS, SCHEDULES AND NOTES	01/15/2021	1	03/23/2021



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5 PPG PLACE
PITTSBURGH, PA 15222

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ISSUE DATE 01/15/2021

SHEET TITLE

COVER SHEET

SHEET NO.

G001

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MOUNTING HEIGHTS (PER ICC/ANSI A117.1-2009 SECTION 703.3.10):

SIGNAGE LOCATIONS (PER ICC/ANSI A117.1-2009 SECTION 703.3.11):

- PLAN ROUTE KEY**

PATH OF EGRESS AND
ACCESSIBLE ROUTE: - - - - -

ACCESSIBLE ROUTE NOTES

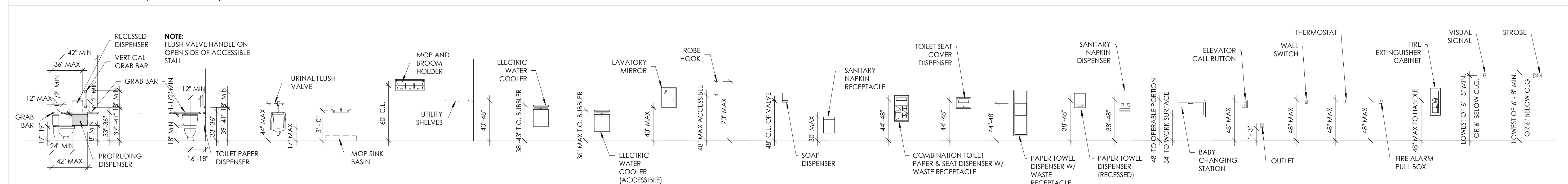
 1. EXISTING ELEVATORS TO STREET LEVEL ACCESSIBLE ENTRANCE AT MARKET STREET.
 2. BOTH SWING DOOR AND AUTOMATIC SLIDING DOORS FULLY ACCESSIBLE.

1" = 20'-0"

EGRESS AND ACCESSIBLE ROUTE PLAN

$$1'' = 20'-0''$$

TYPICAL MOUNTING HEIGHTS (ICC A117.1-2009)



1. INSTALL ALL WORK INDICATED IN ACCORD WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. WHERE A CONFLICT ARISES BETWEEN PLANS, SPECIFICATIONS, DETAILS, SCHEDULES AND APPLICABLE CODES OR REGULATIONS, THE MOST STRINGENT OF THE TWO APPLIES.
2. VISITS THE SITE TO DETERMINE EXISTING CONDITIONS. THE LANDLORD WILL NOT CONSIDER AND CHANGES TO THE CONTRACT FOR FAILING TO MEET THIS REQUIREMENT.
3. OBTAINS AND PAYS FOR ALL REQUIRED PERMITS, LICENCE, AND INSPECTION FEES FOR THE WORK INDICATED.
4. WARRANTY: FOR ALL MATERIALS, EQUIPMENT AND LABOR FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.
5. ALL MATERIALS AND EQUIPMENT PROVIDED FOR THE PROJECT ARE NEW.
6. THE DRAWINGS ARE DIAGRAMMATIC, VERIFY ACTUAL CONDITIONS AT THE SITE BEFORE PROCEEDING WITH ANY WORK.
7. COORDINATE ALL WORK WITH ANY OTHER TRADES AND EXISTING CONDITIONS.
8. HIDDEN AND LATENT CONDITIONS: NOTIFY THE LANDLORD AND ARCHITECT BEFORE PROCEEDING WITH ANY WORK THAT, THROUGH THE COURSE OF THE CONSTRUCTION AND CONDITION IS EXPOSED OR NOT REASONABLY VISIBLE DURING A WALK THROUGH OR INDICATED ON THE CONTRACT DOCUMENTS. FAILURE TO NOTIFY THE ARCHITECT WILL MAKE THE CONTRACTOR RESPONSIBLE FOR ALL COSTS AND CONSEQUENCES OF SUCH FAILURE.
9. COORDINATE WITH THE LANDLORD TO SCHEDULE ANY INTERRUPTION OF ANY BUILDING UTILITY 24 HOURS PRIOR TO COMMENCEMENT OF THE NECESSARY INTERRUPTION.
10. ALL STRUCTURES MUST BE PROTECTED BY FIRE PROOFING. ARCHITECT AND PRESERVE ALL EXISTING FIREPROOFING. COMPLETELY PATCH AND REPAIR ANY DAMAGE INCURRED DURING THE EXECUTION OF THE WORK.

PROJECT ADDRESS : 5 PPG PLACE, PITTSBURGH, PA 15222

BLOCK AND LOT NO. : I - H - 30

ZONING : G - TA GOLDEN TRIANGLE DISTRICT A

OCCUPANCY TYPE : B - BUSINESS

CONSTRUCTION TYPE : 1A - FULLY PROTECTED

FIRE PROTECTION : FULLY ADDRESSABLE FIRE ALARM SYSTEM THROUGHOUT <NFPA 72> SPRINKLER SYSTEM THROUGHOUT <NFPA 13>. FIRE ALARM SYSTEMS AND SPRINKLERS REMAIN AS INSTALLED WITH NO WORK SCHEDULED. STANDARD PROTECTIONS FOR EXISTING DEVICES DURING CONSTRUCTION.

APPLICABLE CODES : INTERNATIONAL BUILDING CODE 2015
CHAPTER 11 OF INTERNATIONAL BUILDING CODE 2018
ICC A117.1-2009
AMERICANS WITH DISABILITIES ACT
NFPA 72; NFPA 13; NFPA 10
INTERNATIONAL ENERGY CONSERVATION CODE 2015, CHAPTER 4, TABLE 402.1.3
AND TABLE 402.4 FOR NEW GLAZING
INTERNATIONAL PLUMBING CODE 2015
ALLEGHENY COUNTY PLUMBING CODE

IEBC DESCRIPTION :	CHAPTER 3 PROVISIONS FOR ALL COMPLIANCE METHODS, SECTION 301.1.1 PRESCRIPTIVE COMPLIANCE METHODS CHAPTER 4 SECTION 403 ALTERATIONS, 403.1 GENERAL PRESCRIPTIVE COMPLIANCE ET. SEQ. EXISTING BUILDING AND STRUCTURE IS IMPROVES BY PROVIDING NEW GLAZING SYSTEM AND FULLY THERMALLY BROKEN GLAZING SYSTEM.
--------------------	--

SECTION 504, ALTERATIONS LEVEL 2, SECTION 504.2 APPLICATION, CHAPTER 7 AND 8
FOR LEVEL 1 AND 2,
CHAPTER 8, LEVEL 2 ET SEQ.

SCOPE OF WORK : SQUARE FOOTAGE OF WORK AREA: 625FT²
OCCUPANCY TYPE AND OCCUPANCY COUNT UNCHANGED
INTERIOR UPGRADES, FLOORING, NEW CEILING AND REPLACEMENT OF EXISTING
STOREFRONT SYSTEM & NEW BUILDING SIGNAGE

TRUE NORTH
ARROW

XXX SF

AREA TAG

ROOM NAME

ROOM TAG

X (XXX)

ELEVATION MARK

Diagram illustrating the structure of a ROOM FINISH TAG. The tag is a rectangular label with a header section and a data section. The header section contains the text "Room name" and the room number "101". The data section is a 2x2 grid containing the following information:

CF	WF
FF	WB

Labels with arrows pointing to the corresponding fields in the tag:

- CEILING FINISH points to CF.
- FLOOR FINISH points to FF.
- WALL FINISH points to WF.
- WALL BASE points to WB.

The entire structure is labeled ROOM FINISH TAG.

 INTERIOR PARTITION TAG

℄ CENTERLINE

W WINDOW TAG

 KEYNOTE

 REVISION CLOUD + TAG

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5 PPG PLACE
TSBURGH, PA 15222

PROJECT NO.	396
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SHEET TITLE	

GENERAL CODE REVIEW & SUMMARY

SHEET NO.

G002

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404 South Main Street Pittsburgh, PA 15220

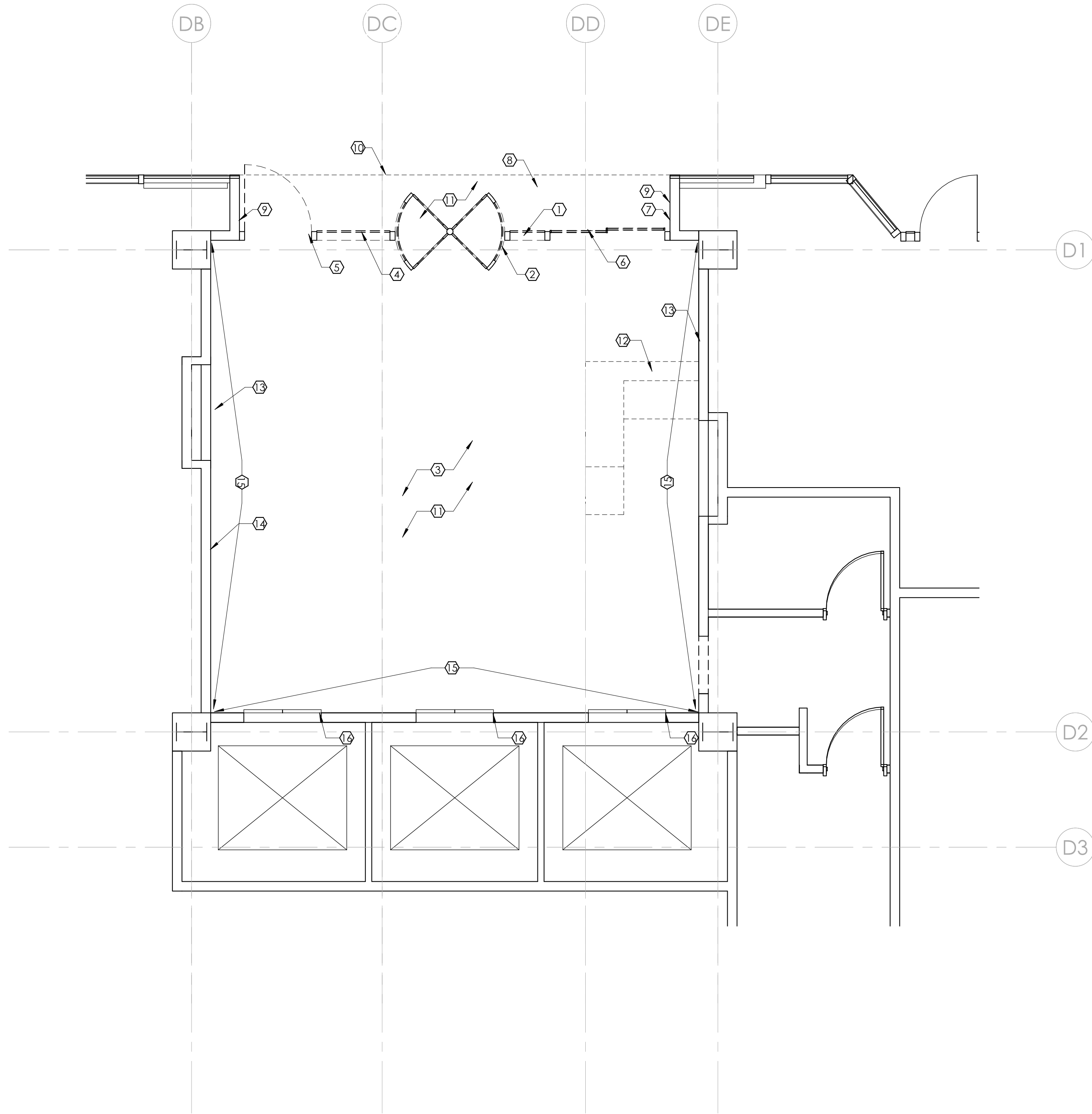


CODED NOTES - DEMOLITION

1	REMOVE STOREFRONT BELOW SIGN BAND.
2	REMOVE REVOLVING DOOR.
3	REMOVE & DISPOSE OF CERAMIC CEILING TILE SYSTEM AND PREP FOR NEW CEILING.
4	REMOVE STOREFRONT BELOW SIGN BAND.
5	SALVAGE SWING DOOR.
6	REMOVE SLIDING DOOR.
7	REMOVE & SALVAGE TELECOM DEVICES AND CARD READER
8	REMOVE & SALVAGE STONE FOR REINSTALLTION.
9	SALVAGE EXISTING ALUMINIUM CLADDING.
10	SALVAGE EXISTING SIGNAGE PANEL ABOVE AND PREP FOR NEW SIGN BAND.
11	REMOVE & DISPOSE OF LIGHT FIXTURES.
12	REMOVE & DISPOSE OF SECURITY DESK.
13	REMOVE & SALVAGE EXISTING MAILBOXES.
14	REMOVE & DISPOSE OF DIRECTORY.
15	REMOVE & DISPOSE OF GRANITE WALL PANELS & FASTENER SYSTEMS AT ALL WALLS WITH DOORS OR OPENINGS.
16	REMOVE & SALVAGE ELEVATOR LANTERNS FOR RELOCATION TO WALL FACE.

GENERAL NOTES - DEMOLITION

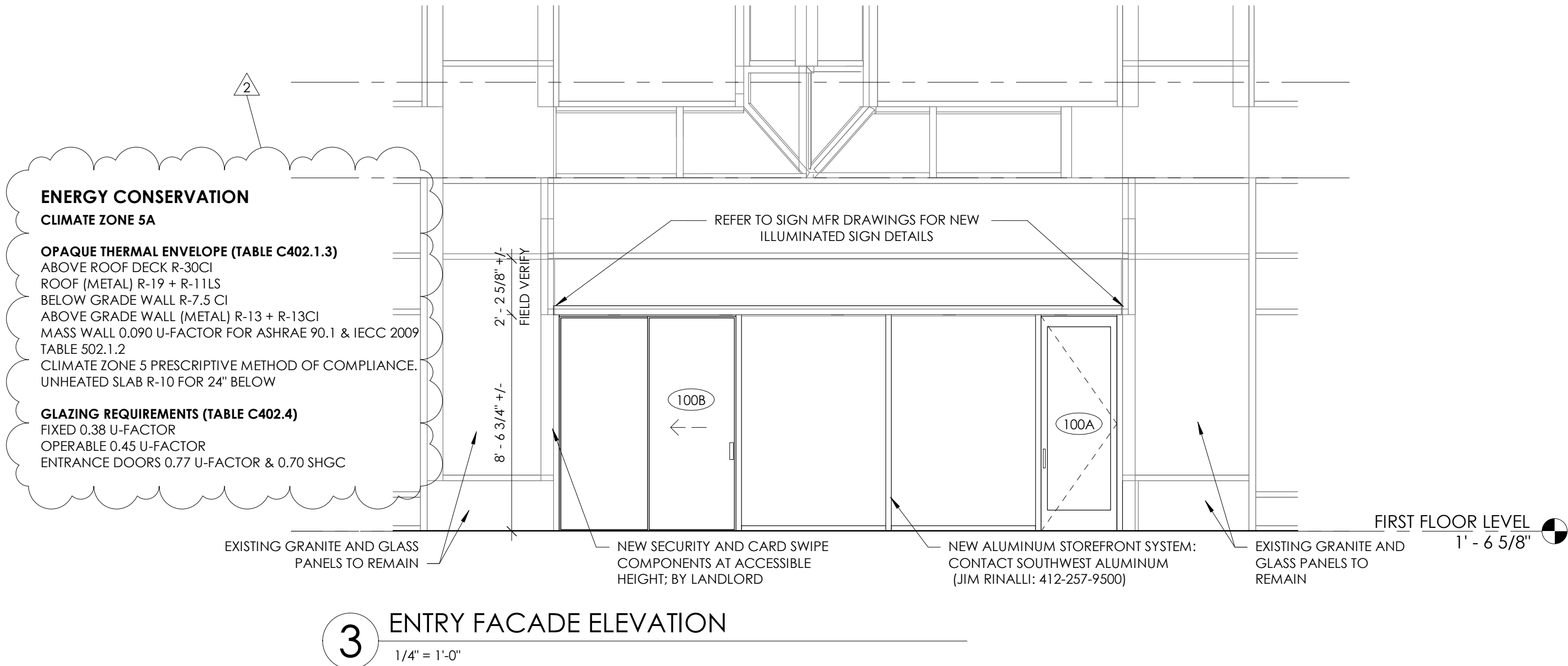
1. PROTECT & MAINTAIN EXISTING WINDOWS, DOORS, & FLOORS FROM DAMAGE DURING DEMOLITION.
2. PROTECT & MAINTAIN EXISTING CENTRAL AIR SYSTEM DUCTWORK FROM AIRBORNE DEBRIS DURING DEMOLITION.
3. DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT AND ARE NOT SHOWN IN COMPLETE DETAIL.
4. COORDINATE REMOVAL OF EXISTING CONSTRUCTION REQUIRED FOR THE NEW CONSTRUCTION INDICATED OR FOR WORK REASONABLY IMPLIED FOR CONSTRUCTION.
5. REMOVE, PATCH, AND REPAIR LATENT AND UNFORESEEN CONDITIONS FOUND WITHIN EXISTING CONSTRUCTION THAT INTERFERE WITH THE WORK INDICATED.
6. NOTIFY ARCHITECT AND OWNER FOR ITEMS INCLUDING, BUT NOT LIMITED TO LATENT AND UNFORESEEN /UNKNOWN CONDITIONS AND FOR ITEMS NOT SHOWN/LISTED ON THE ARCHITECTURAL.
7. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. COORDINATE WITH THE ARCHITECT BEFORE REMOVING THE ABOVE MENTIONED ITEMS.
8. REMOVE ALL ABANDONED CONDUIT, DUCTWORK, HANGERS, CEILING TILE, GRID, FRAMING, PIPING, ETC. THROUGHOUT WORK AREA. RELOCATE EXISTING J-BOXES, SWITCHES, ETC. THAT ARE BEING REUSED AND REQUIRED TO BE MOVED TO ACCOMMODATE NEW WALL CONSTRUCTION OR NEW FURRING.
9. PATCH AND PAINT (CORNER TO CORNER) ALL SURFACES OF EXISTING INTERIOR PARTITIONS THAT ARE NOT BEING DEMOLISHED OR WERE DAMAGED DUE TO THE DEMOLITION PROCEEDINGS.
10. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES FOR RESOLUTION PRIOR TO THE BEGINNING OF ANY WORK.
11. WHERE SMALL AREAS OF CEILING ARE AFFECTED BY DEMO OR ARE ADJACENT TO EXISTING CEILINGS; REPAIR ADJOINING CEILINGS WITH MATCHING MATERIAL AND FINISH.
12. REMOVE WALLS, WALL FURRING, DOORS, FRAMES, ETC. THROUGHOUT THE AREA TO FACILITATE NEW CONSTRUCTION AS SHOWN IN THE CONSTRUCTION DOCUMENTS.
13. PROVIDE NEW CEILING(S) AS SHOWN. REMOVE BRACING, SUPPORTS HANGERS, FOR THE INSTALLATION NEW GYPSUM BOARD CEILINGS, LIGHT FIXTURES, ETC.
14. DEMOLISH CONSTRUCTION INDICATED OR REASONABLY IMPLIED TO BE REMOVED. LEAVE EXISTING CONSTRUCTION INTACT AND UNDAMAGED.
15. PATCH, REFINISH, REPAIR, OR REPLACE IN KIND DAMAGED AREAS INCLUDING AREAS OUTSIDE THE EXTENTS OF WORK CAUSED BY THE DEMOLITION OPERATIONS.
16. REMOVE EXISTING FLOOR FINISHES, ADHESIVE, PATCH AND REPAIR EXISTING FLOOR TO ACCOMMODATE NEW FLOOR FINISHES. PREPARE FLOOR SURFACE PER MANUFACTURER'S RECOMMENDATIONS FOR FLOORING BEING INSTALLED AND FOR THE INSTALLATION OF THE RADIANT HEATING SYSTEM.
17. TAKE ALL NECESSARY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION TO PROTECT AND MAINTAIN THE INTEGRITY AND OPERATION OF EXISTING OR TEMPORARY LIFE SAFETY AND EMERGENCY EGRESS AREAS AND SYSTEMS AS REQUIRED BY LOCAL BUILDING CODES.
18. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDINGS EXISTING WALLS AND FINISHES.
19. REMOVE ALL DEMOLITION AND CONSTRUCTION DEBRIS GENERATED FROM THE WORK OF THIS CONTRACT TO PREVENT THE OVERLOADING OF THE EXISTING FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.
20. REMOVE DEBRIS AND WASTE DAILY FROM THE PROJECT SITE OR PLACE IN PROJECT DUMPSTER AT END OF EACH DAY.
21. REMOVE DEBRIS AND WASTE DAILY FROM THE PROJECT SITE OR PLACE IN PROJECT DUMPSTER AT END OF EACH DAY.
22. PROPERLY DISPOSE OF ALL ITEMS INDICATED FOR REMOVAL AND DEMOLITION BUT NOT DESIGNATED FOR SALVAGE OR REUSE.



1

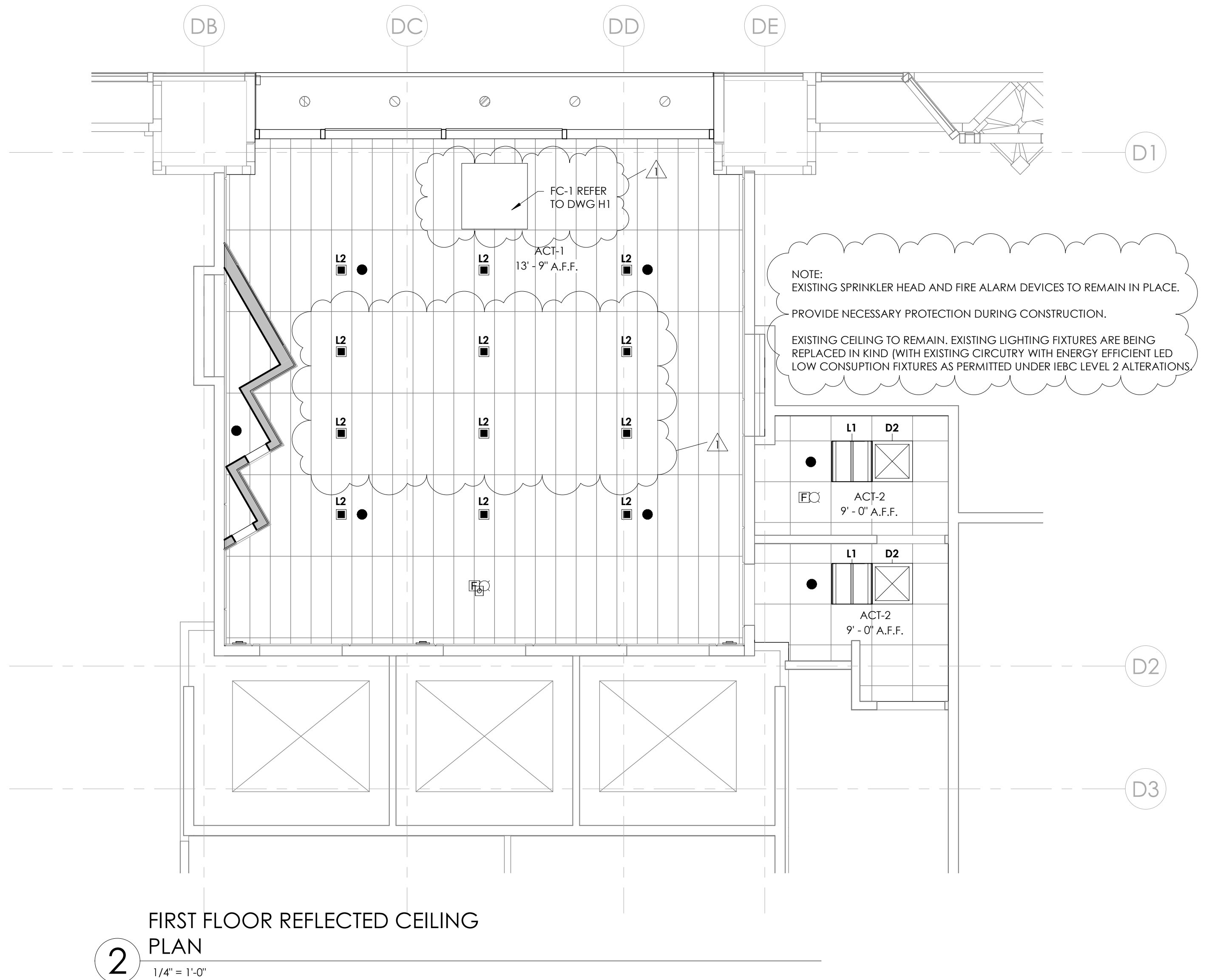
DEMOLITION PLAN

1/4" = 1'-0"



LIGHTING FIXTURE SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	WATTS	COMMENTS
L1	2X2 RECESSED LED TROFFER WITH OPAL ACRYLIC LENS, RECESSED	LITHONIA LIGHTING	2ALL2-CTEF-33L-EZ1-LP835	38	
L2	4" RECESSED DOWNLIGHT	LITHONIA LIGHTING	4JBK SQ 40K MW	9	

SUPPLY DIFFUSER SCHEDULE				
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
D2	SUPPLY DIFFUSER, 4 WAY, LAY-IN, 24"x24"	KRUEGER	1400	



DOOR SCHEDULE					
MARK	DOOR TYPE	DOOR WIDTH	DOOR HEIGHT	HARDWARE	NOTES
100A	G1	3' - 0"	8' - 6"	1	EMERGENCY EGRESS DOOR
100B	G2	7' - 0"	8' - 6"	2	HORTON PROFILER SERIES 2008 BELT DRIVE, SINGLE OPENING, FULL BREAKOUT TYPE 310, FINISH: MATCH STOREFRONT FINISH
103	HM2	3' - 0"	8' - 6"		EXISTING DOOR
107	HM2	3' - 0"	8' - 6"		EXISTING DOOR

DOOR HARDWARE	
MANUFACTURERS	HARDWARE SETS
HINGES: HAGER LOCKSETS, LATCHSETS: HAGER CLOSERS: HAGER PANIC DEVICES: FALCON PUSH, PULL, KICK PLATES: HAGER STOPS, BOLTS: HAGER THRESHOLDS, WEATHERSTRIPS: NATIONAL GUARD	SET #1 HARDWARE BY THE ALUMINUM DOOR SUPPLIER SET #2 HARDWARE BY SLIDING DOOR SUPPLIER PROVIDE CYLINDER KEYED TO LANDLORD'S MASTER KEYWAY PROVIDE DOOR WITH OPEN PROTOCOL FOR EXISTING SECURITY SYSTEM SET #3 1 LOCKSET STORAGE FUNCTION 1 CYLINDER FRAME BUMPERS SET #4 ALL EXISTING HARDWARE TO REMAIN, CLEAN, ADJUST EXISTING
FINISH US26D (SATIN CHROME); US32D (STAIN STAINLESS); CLOSERS SPRAYED TO MATCH	
KEYING NEW MASTER KEYS 3 KEYS PER LOCK: 6 MASTER KEYS	

CODED NOTES - FLOOR PLAN	
1	WOOD VENEER AND BACK-PAINTED GLASS PANEL SYSTEM.
2	NEW RECESSED MAILBOXES TBD.
3	NEW ALUMINUM STOREFRONT SYSTEM: COORDINATE NEW PROFILE WITH SOUTHWEST ALUMINUM.
4	NEW GLASS SLIDER DOOR AND THRESHOLD.
5	NEW GLASS DOOR WITH EMERGENCY EGRESS HARDWARE.
6	INSTALL HEAT TRACE AND REINSTALL EXTERIOR GRANITE TILE.*
7	RECESSED TV DIRECTORY. SPEC BY OWNER. COORDINATE SIZE WITH PANEL CUTOUT.
8	HIGH RECEPTACLE. COORDINATE LOCATION WITH OWNER. STAINLESS FACE PLATE.
9	NEW SECURITY CAMERA. COORDINATE WITH SECURITY INSTALLER AND OWNER.
10	NEW ALUMINUM CLADDING: SOUTHWEST ALUMINUM.
11	RELOCATED EXISTING OUTGOING MAIL BOX

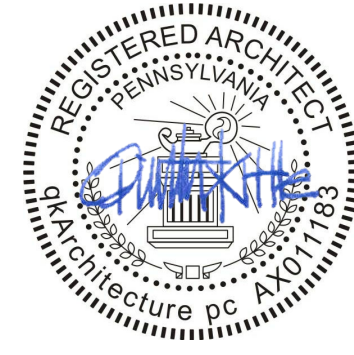
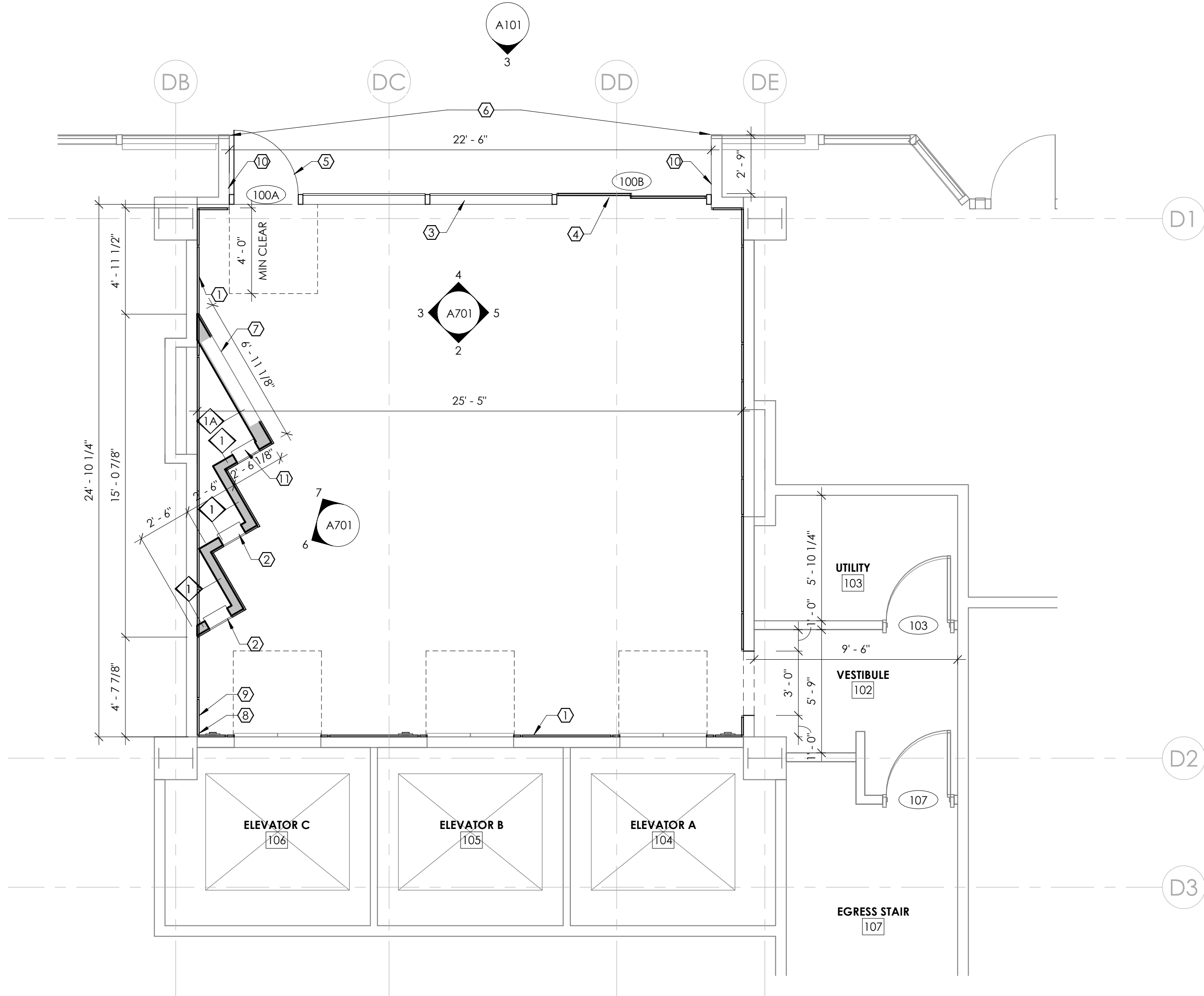
DOOR GENERAL NOTES

LOCKSETS: SARRIENT ASSA ALLOY
82 MORTICE
W/ CITATION LEVER

CYLINDER LANDLORD BUILDING
STANDARD: ASSA ABLOY VOLO

***HEAT TRACE NOTES:**

- PROVIDE DELTA-THERM SNOW MELTING 27 WATTS, TWO CONDUCTOR M.I. HEATING CABLE WITH HPDE OVER-JACKET 6 INCHES ON CENTER AT ENTRANCE.
- REMOVE EXISTING STONE ENTRANCE TILING AND INSTALL SNOW MELTING SYSTEM PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- PROVIDE INDICATOR AND TIMER PANEL IN LOCATION DETERMINED BY LANDLORD.
- PROVIDE CABLE ASSEMBLY BASE KIT AND ASSEMBLY ACCESSORIES. EMBEDDED PLATE MARKER RECOMMEND BY MANUFACTURE FOR FULLY COMPLETE AND OPERATIONAL SYSTEM.
- PROVIDE SPLICE KIT AS NECESSARY.
- PROVIDE CONTROLLER MODEL, GFFE RELAY COUNT AS REQUIRED FOR LENGTHS OF TRACE DETERMINED BY FIELD CONDITIONS. PROVIDE 30 AMP ELECTRICAL CIRCUIT OF SIZE AS REQUIRED FOR FINAL SYSTEM.
- COORDINATE LOCATION OF AVAILABLE PANELBOARD WITH LANDLORD.
- PROVIDE DANFOSS LX20ST WIFI THERMOSTAT. COORDINATE LOCATION WITH LANDLORD.



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5 PPG PLACE
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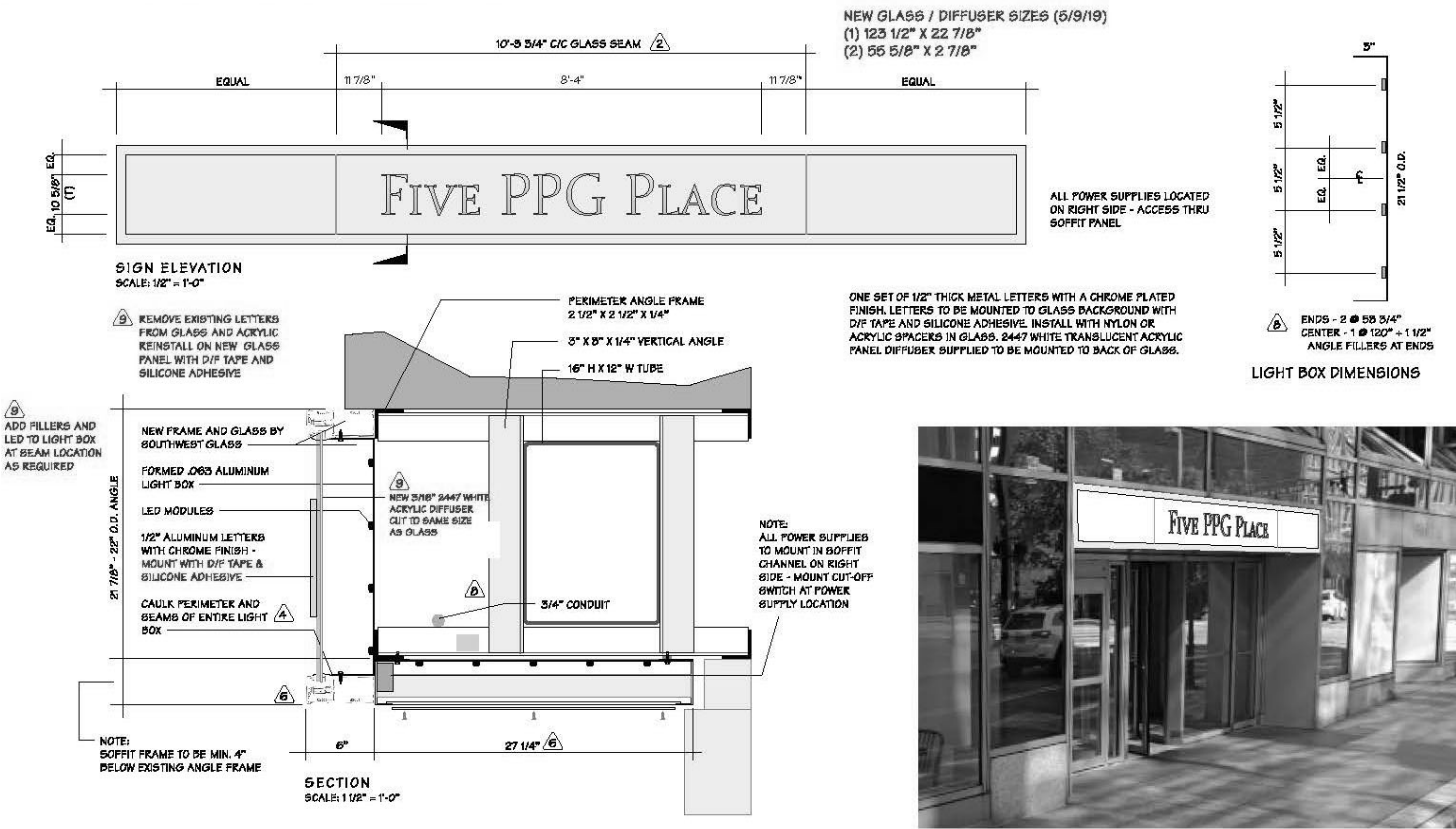
SHEET TITLE

FLOOR PLAN &
REFLECTED
CEILING PLAN

SHEET NO.

A101

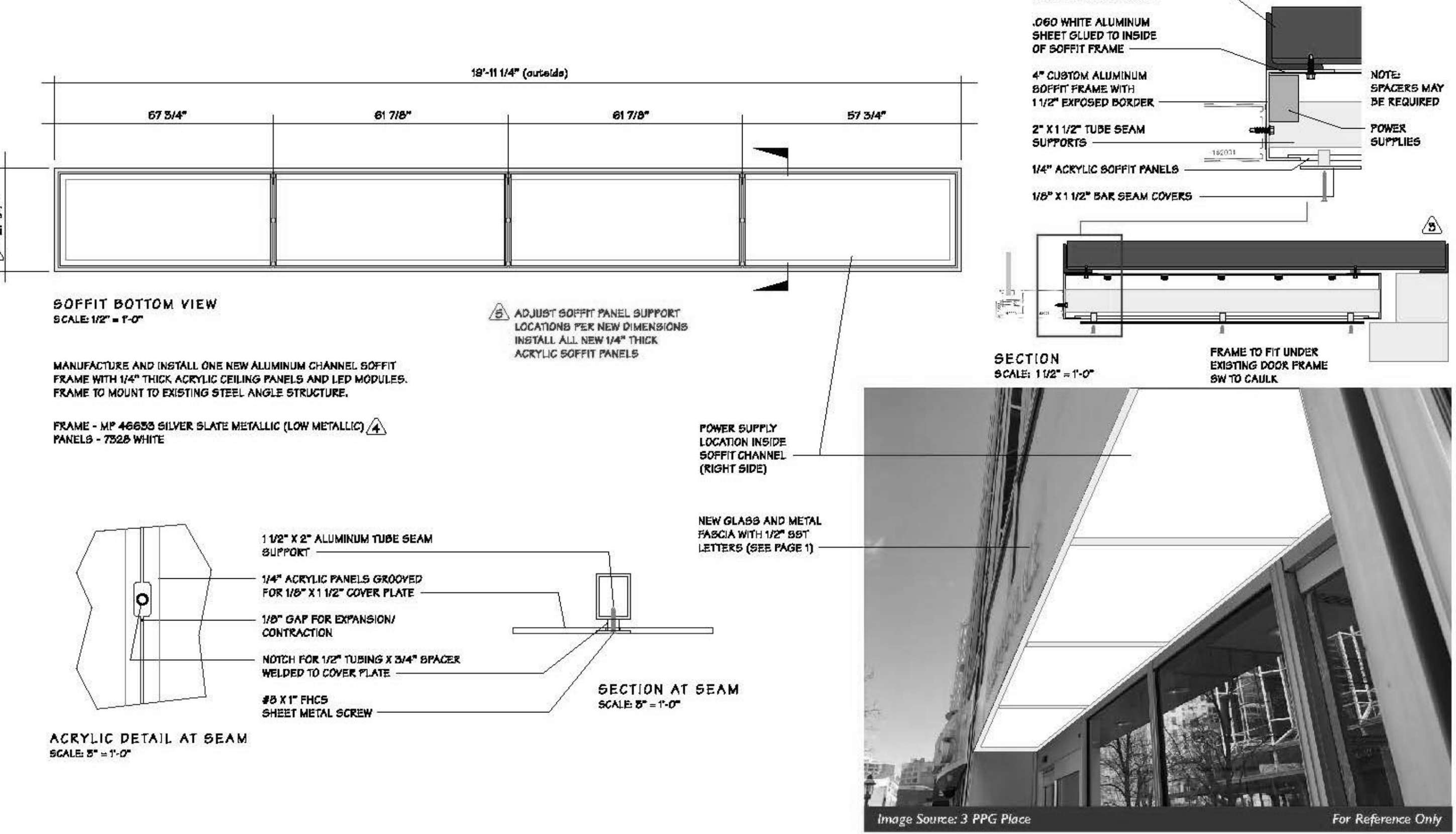
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SIGNAGE ELEVATIONS AND DETAILS

2

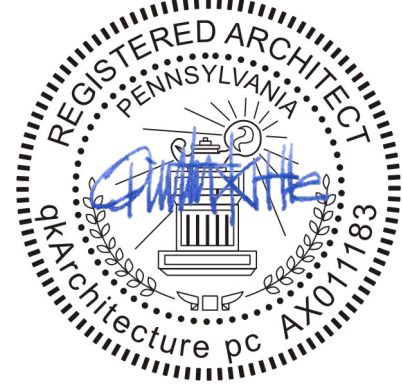
NOT TO SCALE



SIGNAGE SOFFIT DETAILS

1

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SHEET TITLE

EXTERIOR
SIGNAGE AND
DETAILS

SHEET NO.

A200

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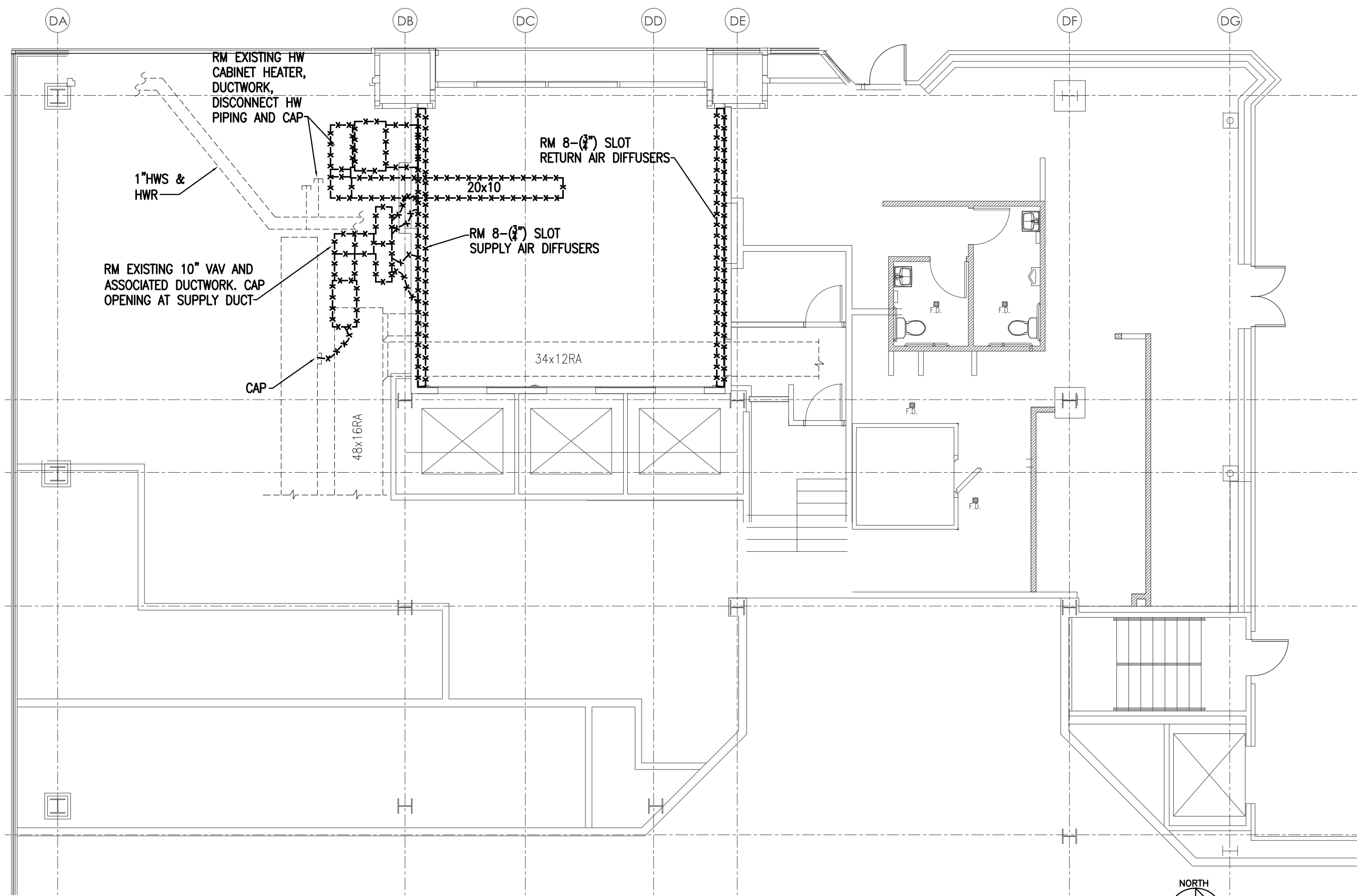
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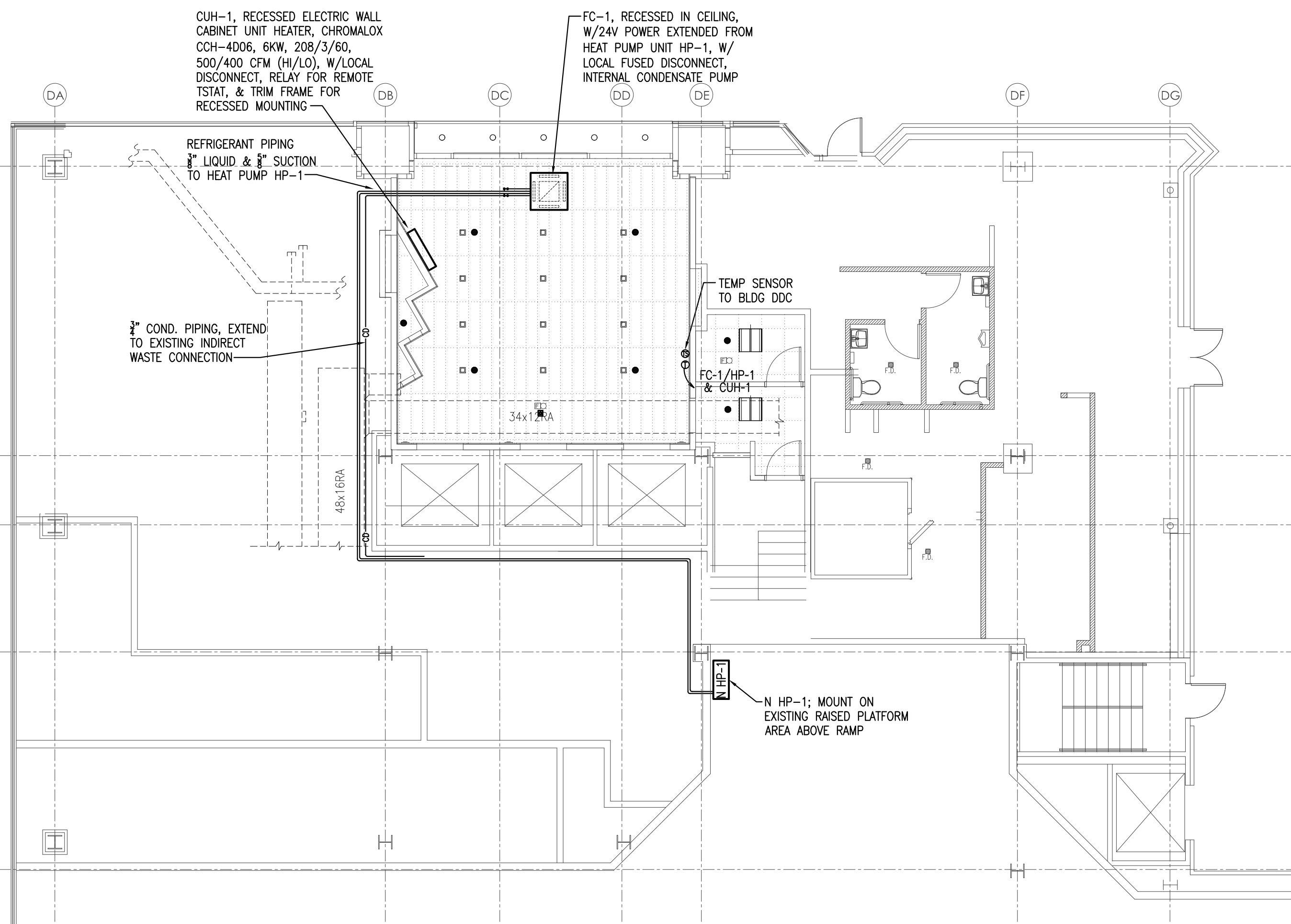
A701

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1 FIRST FLOOR FINISH PLAN
1/4" = 1'-0"



2
H1
GROUND FLOOR HVAC DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



3
H1
GROUND FLOOR HVAC PLAN
SCALE: 1/8" = 1'-0"

HVAC SYMBOLS/ABBREVIATIONS

-----	EXISTING DUCTWORK
-----	EXISTING DUCTWORK TO BE REMOVED
-----	EXISTING DUCTWORK TO BE REMOVED
⊕	NEW THERMOSTAT
-----	NEW CONTROL WIRING
-----	CONNECTION, NEW TO EXISTING
N	NEW
RM	REMOVE
R	RELOCATE
RL	RELOCATED
EXST.	EXISTING

HVAC GENERAL NOTES

- ALL WORK OF ALL TRADES SHALL BE DONE UNDER ONE CONTRACT BETWEEN THE OWNER'S REPRESENTATIVE AND THE HVAC CONTRACTOR WHO IS RESPONSIBLE FOR HIRING ALL REQUIRED SUB-CONTRACTORS FOR THIS PROJECT.
- FIELD VERIFY ALL EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK.
- LISTED DUCT SIZES INDICATE THE FREE INSIDE AREA REQUIRED. FIRST NUMBER IS THE SIDE BEING VIEWED. EQUIVALENT ROUND SIZES MAY BE USED. MAKE ALLOWANCES FOR DUCT LININGS REQUIRED.
- PROVIDE SLEEVES AND FIRE STOP SEALANTS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS AND FLOORS. FIRE STOPPING SHALL COMPLY WITH THE REQUIREMENTS OF ASTM E-814 AND UL 1479. ALL WALLS AROUND THE STAIRWELLS, ELEVATOR SHAFTS, ELECTRIC, AND MAIN EGRESS CORRIDORS HAVE A ONE OR TWO HOUR FIRE RATING. ALL FLOORS HAVE A TWO HOUR FIRE RATING.
- THE HEATING CONTRACTOR SHALL PROVIDE ALL CONTROL DEVICES AND CONTROL WIRING. THE ELECTRICAL REQUIREMENTS OF THE CONTROL WIRING INSTALLATION SHALL MEET THE CURRENT EDITION OF THE NEC (NFPA 70).
- PROVIDE ACCESS DOORS IN DUCTWORK AND FURNISH ACCESS DOORS FOR INSTALLATION IN DRYWALL CEILINGS AND WALLS TO THE GC TO PERMIT ACCESS TO ALL CONCEALED ITEMS IN NEED OF ADJUSTMENT. COORDINATE ACCESS DOOR PLACEMENT AND LOCATION WITH THE BUILDING ENGINEER.
- BALANCE SYSTEM TO AIR QUANTITIES SHOWN ON PLAN. SUBMIT FINAL AIR BALANCE REPORT TO ENGINEER FOR REVIEW. INCLUDE FINAL AIR FLOW OBTAINED AT EACH AIR INLET AND OUTLET AND FINAL CFM AND STATIC PRESSURE AT FAN-COIL AND FURNACE.
- THE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW THE GENERAL LAYOUT OF DUCTWORK, DIFFUSERS, CONTROLS AND PLANNED OPERATION. FIELD VERIFY ALL ROUTINGS AND ACTUAL FIELD CONDITIONS AT THE SITE PRIOR TO PROCEEDING WITH THE WORK. CAREFULLY COORDINATE ALL MECHANICAL WORK WITH OTHER TRADES AND EXISTING CONDITIONS.
- SUBMIT SHOP DRAWINGS TO THE OWNER AND ENGINEER FOR REVIEW. SUBMITTALS SHALL INCLUDE CATALOG NUMBERS, CUTS, DIAGRAMS, AND OTHER DESCRIPTIVE DATA FOR ALL EQUIPMENT AND MATERIALS TO BE FURNISHED.
- THERMOSTATS SHALL BE MOUNTED AT 44 INCHES ABOVE THE FINISHED FLOOR OR WHEN IN CLOSE PROXIMITY, ALIGN WITH WALL SWITCHES. THE INSTALLATION MUST MEET ADA MOUNTING HEIGHT AND ACCESSIBILITY REACH REQUIREMENTS.
- INDIVIDUALLY MOUNTED MANUAL MOTOR STARTERS, FUSED DISCONNECT SWITCHES, NON-FUSED DISCONNECT SWITCHES, COMBINATION MOTOR STARTERS, AND VARIABLE FREQUENCY DRIVES FOR MOTOR DRIVEN HVAC EQUIPMENT SHALL BE FURNISHED BY THE HVAC CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL MOUNT THE DEVICES AND PROVIDE THE POWER WIRING THROUGH THE DEVICES TO THE MOTORS AND MAKE ALL FINAL TERMINATIONS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CORRECT ROTATION OF ALL MOTOR DRIVEN EQUIPMENT AND SHALL ASSIST THE HC IN STARTUP PROCEDURES.
- DUCTWORK FABRICATION SHALL BE GALVANIZED SHEET METAL TO MEET ASHRAE AND SMACNA STANDARDS, 2" PRESSURE CLASSIFICATION.
- ALL 90 DEGREE RECTANGULAR ELBOWS IN DUCTWORK SHALL HAVE TURNING VANES.
- ALL MATERIALS, EQUIPMENT AND LABOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION.
- THE ENTIRE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL INSULATION SHALL HAVE A MAXIMUM FLAME SPREAD/SMOKE DEVELOPED RATING OF 25/50 IN ACCORDANCE WITH NFPA 90A AND ASTM E84.
- ALL SHEET METAL DUCT SHALL BE INSULATED. PROVIDE 1.5 INCH THICK 2# DENSITY DUCT WRAP ON THE SUPPLY AND RETURN DUCTWORK.

AIR COOLED HEAT PUMP UNIT SCHEDULE

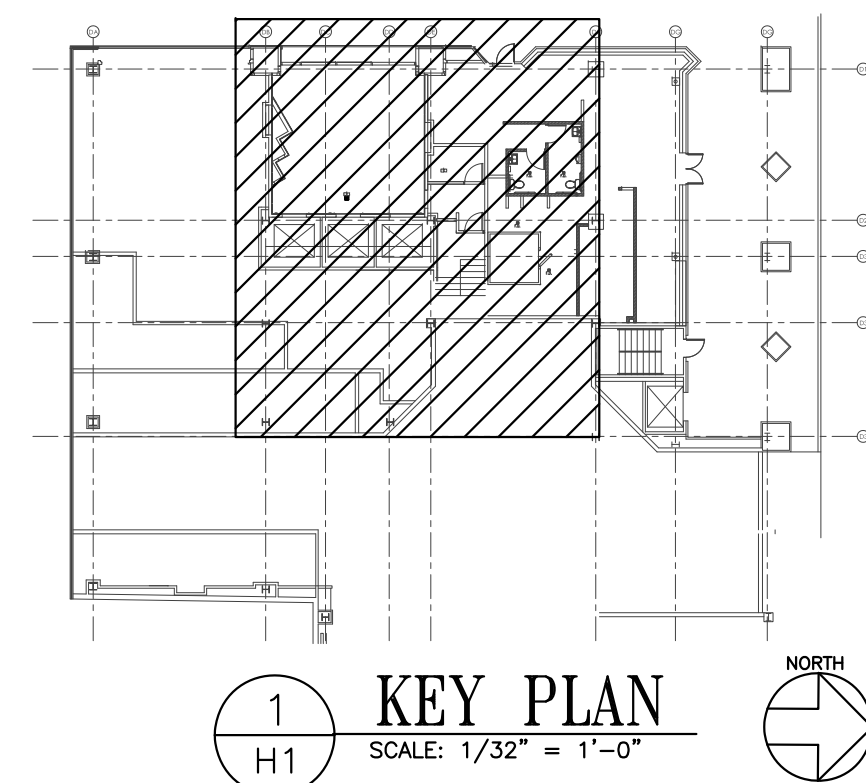
TAG NO.	COOLING (95AMB)				HEATING			REFRIG.	ELECTRICAL										SIZE WxDxH	WGHT.	REMARKS
	MBH	SUCT. T.	SEER/IEER	STAGES	MBH(47/17/5)	HSPF/COP			COMPR.	RLA(EA)	LRA(EA)	FANS	(WATTS) FLA(EA)	V/PH/HZ	MCA	MFA					
HP-1	42	44	16.3/10.7	1	45/30/30	9.8/3.3	R410a		1	20.0	28	2	172	0.8	208/230/1/60	26	40	37x14x53	251#		MITSUBISHI PUZ-HA42NKA1

FAN COIL UNIT SCHEDULE - HEAT PUMP

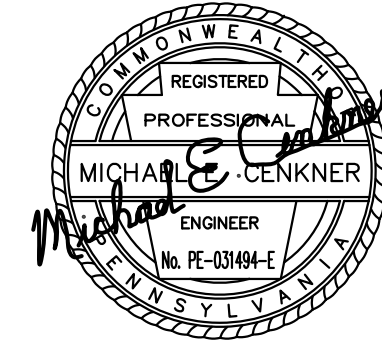
TAG NO.	CFM HI/LO	FAN H.P.	CLG TMBH	CLG SMBH	EAT/LAT	SST	COIL ROWS/ FINS	HTG MBH	REFRIG.	ELECTRICAL			ASSOCIATED HEAT PUMP	SIZE WxDxH	WGHT.	AUX ELECTRIC HEAT			REMARKS
										V/PH/HZ	MCA	MFA				KW	STAGES	V/PH/HZ	
FC-1	1090/ 780	0.16	42	30	80/67	45	3/18	45/30	R410a	208/230/1/60	2.0	15	HP-1	33x33x13	56#	--	--	--	MITSUBISHI PLA-A42EA7

NOTES:

- PROVIDE TXY SUITABLE FOR HEAT PUMP DUTY.
- PROVIDE FIELD INSTALLED PRE-CHARGED REFRIGERANT PIPING SETS.
- PROVIDE REMOTE ROOM TEMPERATURE SENSOR AND PROGRAMMABLE THERMOSTAT SUITABLE FOR HEAT PUMP DUTY, AUXILIARY CONTACTS FOR ELECTRIC HEAT
- PROVIDE SINGLE POINT ELECTRICAL CONNECTIONS.
- PROVIDE AUTOMATED LOGIC TEMPERATURE SENSOR CONNECTED TO BUILDING'S BAS ADJACENT TO THERMOSTAT TO MONITOR SPACE.
- PROVIDE FAN COIL UNIT WITH INTEGRAL CONDENSATE PUMP & 1" COND DRAIN.



1
H1
KEY PLAN
SCALE: 1/32" = 1'-0"



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DEMOLITION, NEW
PLANS, SCHEDULES
AND NOTES

SHEET NO.

H1

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